

The City of Cadiz

Design Guidelines For Historic Preservation

Enacted

September 18, 2000

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INTRODUCTION: The Cadiz Historic Restoration Design Guidelines are designed to provide property owners and/or occupants with information on the Cadiz Renaissance Historic District, and area of Cadiz that was designated by the City Council as a District on September 18, 2000.

This same Ordinance established the Cadiz Board of Architectural Review, (Renaissance on Main, Design Committee) and the City of Cadiz became one of the many communities throughout the United States which has chosen to protect its historic buildings through the designation of local historic districts and landmarks.

The City of Cadiz is fortunate in having two distinct areas of historic interest, a commercial downtown, and an adjacent residential historic district. The Cadiz City Council determined that the distinctive architecture of these areas was of vital importance to the communities' historic character and economy, and that these unique characteristics can only be maintained through the prevention of unnecessary injury to the City's historic landmarks.

The Cadiz Board of Architectural Review (Renaissance on Main, Design Committee) was established to assist in this effort, with the mission to recommend local historic districts and landmarks to the City Council for designation, and to assist owners of historic properties in the local historic districts in the preservation and rehabilitation of buildings through the review of designs for proposed exterior changes, new construction, and demolition.

Property owners in the District are relied upon to help preserve and protect Cadiz's historic and architectural resources, which serve as visual reminders of our history and heritage. Therefore, your assistance is needed to make this goal a reality, and these Guidelines are designed to assist you in that effort.

Introduction:

In September 2000, the City of Cadiz became one of the 2000 communities across the nation, which chooses to project historic buildings through the designation of local historic districts and landmarks.

Within the city limits of Cadiz are Federal style dwellings from late eighteenth century, the era in which the community was founded, Victorian commercial buildings, and early twentieth century neighborhoods with tree-lined streets. The Board determined that the distinctive architecture of Cadiz was of vital importance to the economy and the historic character of the community. Historic character can only be maintained through the Board of Architecture Review's (Renaissance on Main, Design Committee) prevention of unnecessary injury to the city's historic districts and landmarks.

The City of Cadiz's Board of Architectural Review (Renaissance on Main, Design Committee) recommends local historic districts and landmarks to the City Council/Renaissance Committee for designation. The Board also assists the owners of landmarks and properties in local historic districts in the preservation and rehabilitation of buildings through the review of designs for proposed exterior changes, new construction, and demolition.

Design review is required for changes to the exterior of the building, which are visible from the street or visible from any public right of way. Examples include, but are not limited to the following:

- Re-pointing brick or stone
- Cleaning brick or stone
- Painting an unpainted house

- Installing

- mechanical equipment on the exterior of the building
- new siding
- new steps

- Installing

- a new window or door
- skylight
- awning

- Replacing

- windows or doors
- roof
- porch

- Constructing a

- new building
- room addition
- roof dormer
- fence

- sign
- parking lot

- Demolishing a
 - building
 - building addition

Design Review Process

The design review process begins when a property owner proposes to make alterations in the exterior appearance of a property owner must obtain a form called a Certificate of Appropriateness (COA) from the Board of Architectural Review (Renaissance on Main, Design Committee). For items deemed routine maintenance types, staff review only will be necessary.

The Board of Architectural Review (Renaissance on Main, Design Committee) meets once a month to review applications for Certificates of Appropriateness. Notice of the proposed alteration is sent to property owners within 200 feet of the property under consideration so that other property owners in the neighborhood can attend the public meeting.

To issue a Certificate of Appropriateness, the Board of Architectural Review (Renaissance on Main, Design Committee) must determine that the request for exterior change is compatible with the design, scale, and character of the historic district where the property is located

The Certificate of Appropriateness with the specifications as determined by the Board is issued to the property owner. The application for proposed work is also reviewed by the city building inspection staff for compliance with zoning and building code regulations. The Board of Architectural Review (Renaissance on Main, Design Committee) conducts site visits to determine that the work complies with the provisions described in the Certificate of Appropriateness.

Design Guidelines

The Design Guidelines contain the criteria, which the Board of Architectural Review (Renaissance on Main, Design Committee) must consider in making design review decisions. The guidelines also provide

information regarding appropriate rehabilitation and construction for property owners within the historic districts. Through the Design Guidelines, the Board can work with property owners to find a way to meet the property owner's current needs and to approve plans which are reasonable for the property owner to carry out.

The principal philosophy behind *these* Design Guidelines is an emphasis of preservation over complete restoration. This outlook is reflected in the guidelines through the use of such words as repair, retain, maintain, and protect. It is important to repair original materials rather than to replace them; retain original landscape features like cast iron fences and stone retaining walls; maintain the original exterior fabric of a building to enhance the historic character; and protect the original setting of the building to protect its integrity.

From this preservation philosophy came the following general guidelines that the Board will apply to all rehabilitation work:

Avoid removing or altering historic material or distinctive architectural features. If the element is original and in fairly good shape, every reasonable effort should be made to keep it.

Repair rather than replace wherever possible. If replacing, replicate the original one rather than trying to invent something new.

Be sensitive to distinct stylistic features and examples of skilled craftsmanship which come from the era in which the building was constructed. It is not desirable to make the building look older than it really is.

Uncover original design features that may be buried under layers of improvements. It takes detective work, but there may be evidence of original elements. Research may turn up pictures of the original appearance of a house or building.

New additions should be consistent with the original architectural style. They should be compatible with the building and its relationship to its neighbors.

Give consideration to a later addition or alteration, even though it is not part of the original building. An addition made at a later time may have gained significance on its own.

Surface cleaning should be done by the least damaging means possible. Sandblasting or the use of abrasive cleaning methods can destroy brick and shorten the life of a building.

II. REHABILITATION GUIDELINES

The following specific guidelines apply to all buildings, whether residential, commercial or institutional.

Original architectural materials such as brick and stone, wood siding and trim, cast and wrought iron, and sheet metal, should be repaired, restored, and reused whenever possible. Original materials should not be removed or covered. Where necessary, missing or deteriorated material should be replaced with appropriate recycled or new materials that match the original as closely as possible.

Existing architectural features that give buildings historic character, including columns, brackets, cornices, decorative brickwork, and terra cotta, should be preserved.

The addition of inappropriate and out of character features should be avoided.

Existing architectural elements or portions of the original features should be retained, repaired or replicated.

If an original detail, such as a cornice, is deteriorated beyond repair or missing, it should be replaced with a newly designed detail sympathetic in scale, material and proportion to the original one. A simplified design may be used.

A Check List for Changes: Design review is required for *any changes* to the exterior of a building that are visible from the street, or visible from any public right of way. The following are examples to help you determine the type of changes which may require approval by the Architectural Board of Review, (Renaissance on Main, Design Committee) but this list is not inclusive, and you should review your particular project in the rest of these Guidelines.

Examples requiring approval:

- Re-pointing brick or stone
- Cleaning brick or stone
- Painting an unpainted house
- Installing: mechanical equipment on the exterior new siding; new steps
- Installing: new window or door; skylight; awning
- Replacing: windows or doors; roof; porch
- Constructing: a new building; room addition; roof dormer; fence; sign, or parking lot
- Demolishing: a building; or building addition

Design Review Process:

The design review process begins when a property owner proposes to make alterations to the *exterior* appearance of a property in the District.

Before starting the work, the property owner must obtain a form called a "Certificate of Appropriateness", from the Board of Architectural Review (Renaissance on Main, Design Committee). For items that are considered routine maintenance, only staff review will be necessary.

The Board of Architectural Review (Renaissance on Main, Design Committee) meets once a month to review applications for Certificates of Appropriateness. Notice of the proposed alteration under consideration is sent to the property owners within 200 feet of the property which is the subject of the application, so that these property owners in the neighborhood can attend the public meeting.

To issue a Certificate of Appropriateness, the Board of Architectural Review (Renaissance on Main, Design Committee) must determine that the request for the exterior change is compatible with the design, scale and character of the historic district where the property is located.

The Certificate of Appropriateness with specifications as determined by the Board, will be issued to the property owner. The application for the proposed work is also reviewed by the City Building Inspector, for compliance with zoning and building code regulations. The Board of Architectural Review (Renaissance on Main, Design Committee) also will conduct site visits to determine that the work complies with the provision described in the Certificate of Appropriateness.

Design Guidelines: The Design Guidelines contain the criteria, which the Board of Architectural Review (Renaissance on Main, Design Committee) must consider in making design review decisions. The Guidelines also provide information regarding appropriate rehabilitation and construction for property owners within historic districts. Through the Design Guidelines, *the Board can work with the property owners to find a way to meet the property owner's current needs and to approve plans which are reasonable for the property owner to carry out.*

The principle philosophy behind Cadiz's Design Guidelines is an emphasis of preservation over complete restoration. This outlook is reflected in the guidelines through the use of such words as "repair", "retain", "maintain" and protect, rather than "replace". It is important wherever possible to repair original materials rather than to replace them, to retain original landscape features like cast iron fences and stone retaining walls; and to maintain the original exterior fabric of a building and protect the original settings of buildings.

The general guidelines that the Board will follow in reviewing all rehabilitation work comes from this preservation philosophy:

Avoid removing or altering historic material or distinctive architectural features. If the element is original and in fairly good shape, every effort should be made to keep it.

Repair rather than replace wherever possible. If replacing is necessary, than replicate the original, rather than trying to invent something new.

Be sensitive to distinct stylistic features and examples of skilled craftsmanship, which come from the era in which the building was constructed. Buildings, for instance, should not be made to look older than they actually are.

Uncover original design features that may be buried under layers of improvements, It takes detective work, but there may be evidence of original elements. Research may turn up pictures of the original appearance of a house or building.

New additions should be consistent with the original architectural style. They should be compatible with the building and its relationship to its neighbors.

Give consideration to a later addition or alteration, even though it is not part of the original building. An addition made at a later time may have gained significance on its own.

Surface cleaning should be done by the least damaging methods possible. Sandblasting or the use of abrasive cleaning methods can destroy brick and shorten the life of a building.

Rehabilitation Guidelines: The following specific guidelines apply to all buildings, whether residential, commercial or institutional:

Original architectural material such as brick and stone, wood siding and trim, cast and wrought iron, and sheet metal, should be repaired, restored, and reused whenever possible. Original materials should not be removed, or covered. Where necessary, missing

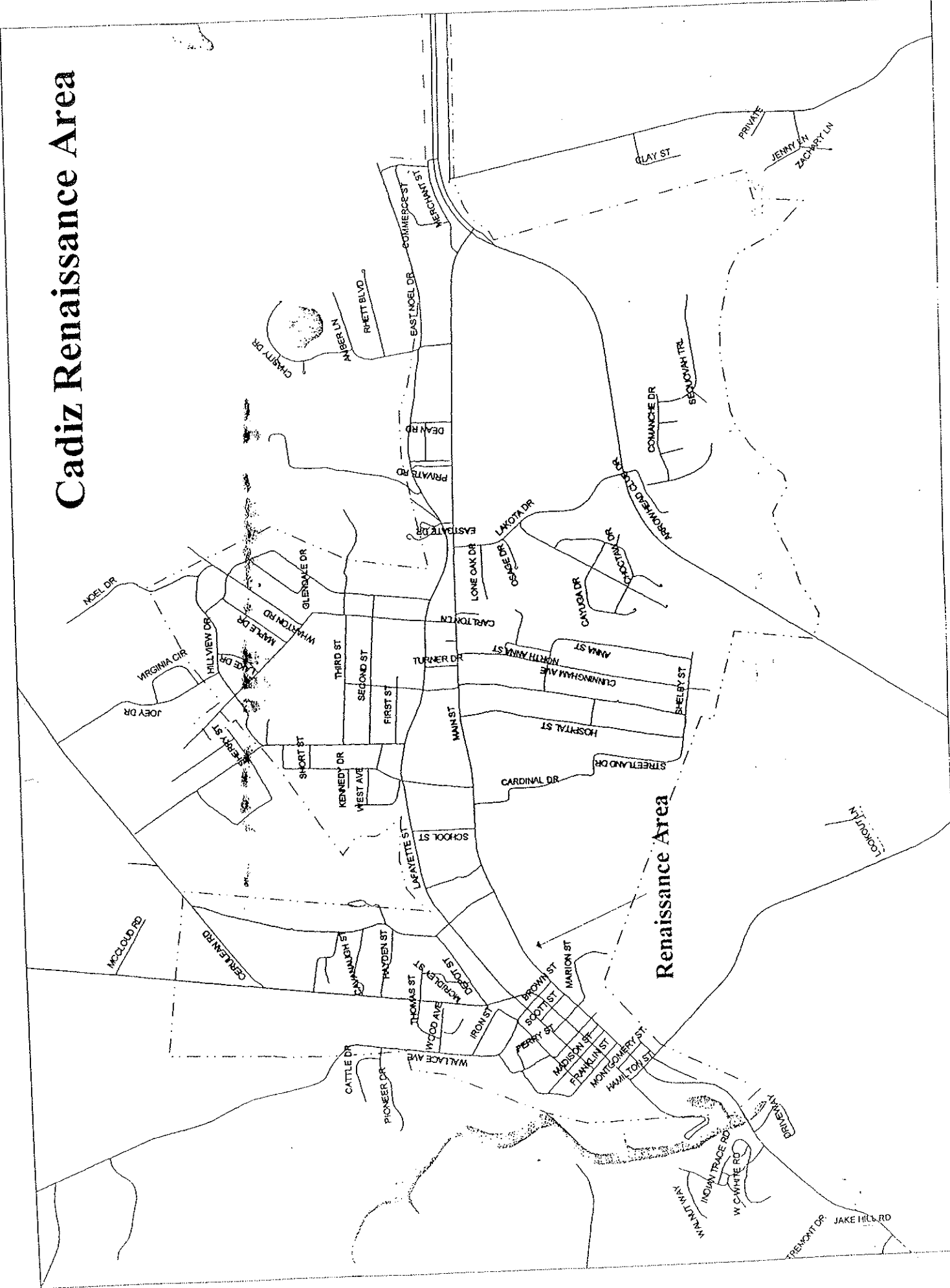
or deteriorated material should be replaced with appropriate recycled or new materials that match the original as closely as possible.

Existing architectural features that give buildings historic character, including columns, brackets, cornices, decorative brickwork and terra cotta, should be preserved.

If an original detail, such as a cornice, is deteriorated beyond repair or missing, it should be replaced with a newly designed detail sympathetic in scale, material, and proportion to the original one. A more simplified design maybe used if necessary.

The following section of these Guidelines describe specific rehabilitation efforts and steps for proper carrying out of work on specific types of structure and materials.

Cadiz Renaissance Area



Renaissance Area

II. REHABILITATION GUIDELINES:

A. MASONRY

Masonry is one of the most durable building materials and can last for centuries. Brick, stone, terra cotta, stucco, concrete and mortar are all examples of masonry. Masonry is used primarily for wall surfaces, but is also used for cornices, pediments, and window lintels or sills. The color, texture and patterns of the masonry and mortar joints help define the historic character of a building.

Cleaning

Cleaning masonry should be done by the least damaging method available. The use of detergents and steam cleaners is preferred to the use of chemicals.

Sandblasting or other abrasive methods are not acceptable methods for cleaning, because they destroy brick and shorten the life of buildings.

Sealants

A water repellent coating should not be used unless there is actual water penetration through the masonry itself. Other possible problems such as faulty or missing mortar, poorly functioning gutters and downspouts, or rising groundwater must be investigated first.

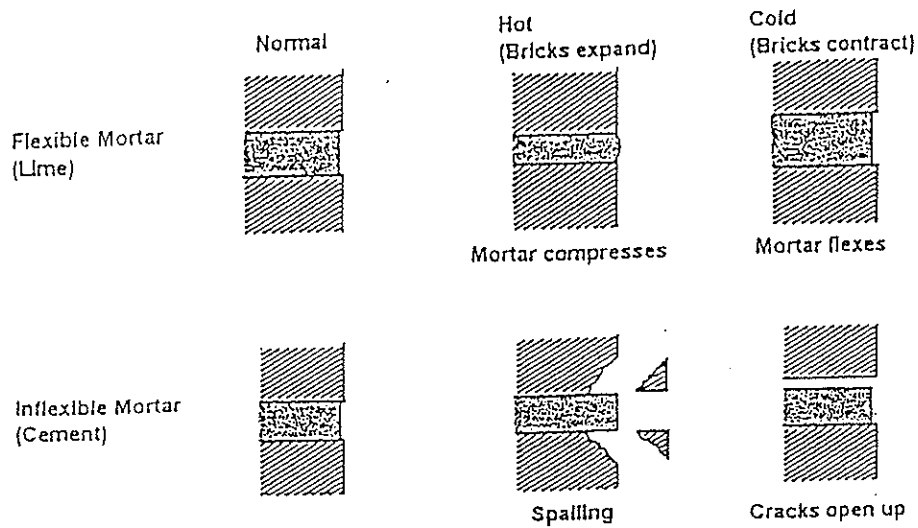
If water is penetrating through the masonry to interior surfaces, then only the affected area should be treated, and only after the masonry has been allowed to dry. Painting is a more permanent solution and provides a good measure of waterproofing to masonry walls.

Painting is recommended for buildings in the Historic Districts that have been previously painted. Painting of masonry walls that have never been painted is discouraged. Masonry walls may be painted if extensive repairs have created a patchwork of masonry surfaces and mismatched mortar.

Tuck Pointing

Older, softer bricks require a softer mortar than new bricks. Tuck pointing should be done with a soft mortar, simulating the old lime and sand mortars in appearance and composition. A mixture consisting of one part white masonry cement, two parts lime, and seven to nine parts of the smallest available mesh sand (to match the original sand) is recommended. The use of this mixture will insure that during periods of freezing and thawing, the expansion and contraction characteristics of the brick and mortar will be

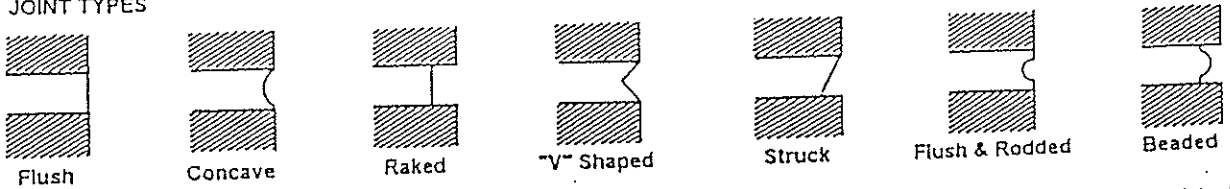
nearly the same. If a hard, modern mortar with a high Portland cement content is used, the softer bricks may suffer irreparable damage during freeze/thaw periods. The use of Portland cement may be acceptable for some buildings constructed in the early twentieth century if the original mortar is Portland cement.



The original type of joint should be matched by the new tuck pointing. In general, the mortar joint should be concave, because it is the best way to bond the mortar to the brick.

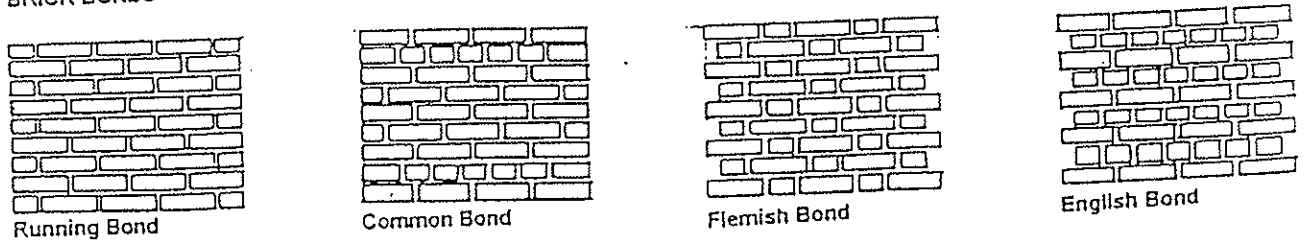
The new mortar should be tinted to match the color of the original mortar as closely as possible.

JOINT TYPES



If the brick itself needs to be replaced, the new brickwork should match the original brick in color, texture, profile, and bond. Brick bonds should not be mixed.

BRICK BONDS



Foundation Walls

The original brick and stone foundation walls should not be altered or concealed. It is inappropriate to cover a foundation with a new stone or brick veneer, rolled asphalt, or stamped metal screen.

II. REHABILITATION GUIDELINES: B. SIDING

Wood is a common building material used for structural framing and protective siding. Since wood can be easily shaped by sawing, planing and carving, it is also used for a broad range of decorative elements such as cornices, brackets, shutters, columns, porches, doors and windows. For the purposes of these guidelines, siding shall refer to all wood siding, shingles, decorative wooden elements and framing.

Wood Siding

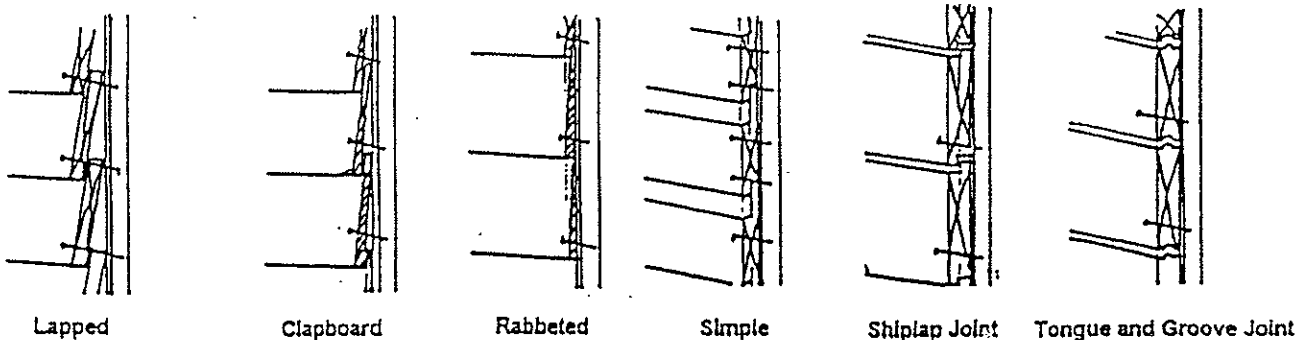
Complete removal of wood siding should not be done unless the original siding has deteriorated beyond repair. Removal shall be kept to a minimum.

Wood clapboard siding should be used as the repair or replacement material on the facades of wood frame buildings. The new wood siding should be of the same material, profile, and design as the original siding.

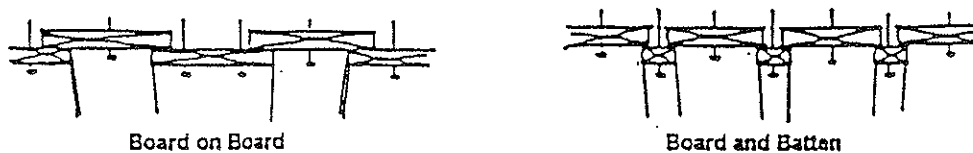
Artificial stone, asbestos, asphalt shingles, and other modern replacement materials should not be used to conceal the original wood siding.

Siding should not be used to cover or replace masonry.

HORIZONTAL BOARDS



VERTICAL BOARDS



Artificial Siding

These design guidelines discourage the use of artificial siding for the following reasons:

It rarely duplicates the appearance of original siding;

Aluminum or vinyl siding over wood can trap moisture causing the wood to deteriorate;

The insulation value of artificial siding is much lower than that of wood and will not contribute significantly to the overall warmth of the house;

Aluminum and vinyl siding must be removed and replaced since it cannot be repaired;

Colored artificial siding eventually fades and mildews;

Vinyl siding has a much lower melting and flash point than wood and can be hazardous.

However, in some circumstances the use of artificial siding may be permitted. When artificial siding is permitted, the following conditions must be met:

All masonry must remain uncovered;

The width of artificial siding must have approximately the same width and shape as the original, and generally should be 4" to 6" wide;

Frieze and soffit boards must be covered in the same width as the existing;

All detailing which is not flush with the siding or surface must bear the same proportion after coverage as before coverage;

All decorative porch posts, railings, brackets, cornices and cornice trim must remain uncovered;

All exterior facade shingles shall remain and must not be covered or altered;

All artificial siding shall run in the same direction as the original siding, which is generally horizontal;

Artificial siding shall not be installed over rotted wood: all original siding, trim and fascia, and shall be repaired;

All artificial siding shall be the original color of the building, if possible; and

Corner boards for artificial siding should be the same size as the existing corner boards;

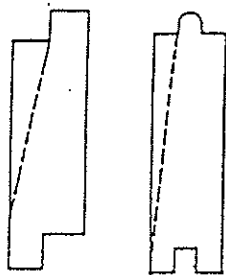
All new window and door trim should be the same width as the original trim;

Architectural features such as cornices, brackets, window sills, and lintels should not be removed or obscured when the resurfacing material is applied;

Existing shutters consistent with the style of the building should be returned to their original location after the artificial siding is applied;

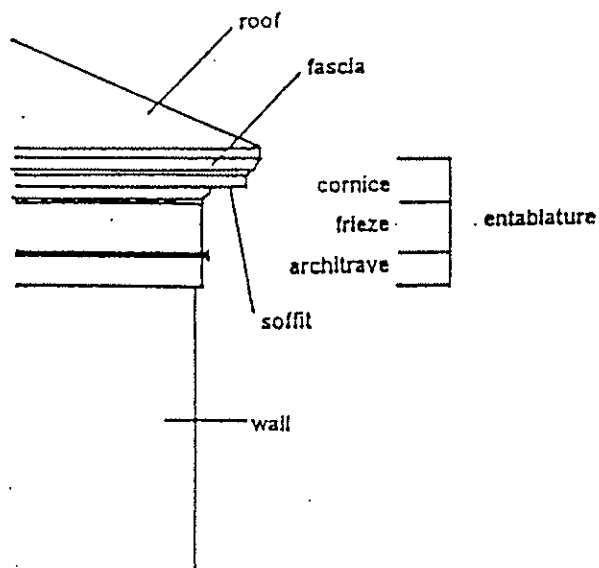
Siding materials with a stamped or molded design which imitates masonry or wood grain should not be used.

SIDING PATTERNS



Plain Shiplap Tongue and Groove

ROOF-WALL JUNCTIONS



II. REHABILITATION GUIDELINES

C. ROOFS AND CHIMNEYS

Roofs

The original roof form and pitch should be preserved on primary or readily visible facades.

Original dormers and their decorative elements should be preserved and maintained.

Original roofs should not be raised to allow for additional stories.

Changing the original roof shape or adding features inappropriate to the essential character of the roof, such as oversized dormer windows or gables, is discouraged. Skylights, appropriate dormers, roof decks and roof gardens may be added to rear roof slopes if they are not readily visible from the street. Flush or flat skylights are preferred over raised or bubble lights.

Whenever possible, the original scale and texture of roofing materials should be retained. New roofing should be appropriate to the style and period of the building and neighborhood, and should match the old in composition, size, shape, and texture.

Preserve or replace, where necessary, all architectural features that give the roof its essential character, such as dormer windows, cupolas, cornices, brackets, fishscale shingles, dentils, fascia, eave trim, bargeboards, coping, chimneys, cresting and weather vanes.

Architectural details that will change the character of the roof shape are discouraged. Television antennae, satellite dishes or similar items and mechanical equipment such as air conditioning units should be placed in an inconspicuous location where they will not detract from the character of the building.

Chimneys

Masonry chimneys should not be removed.

Preserve and maintain original chimneys.

The repair and repointing of brick chimneys should be done with brick and mortar that match the original or are compatible with the rest of the structure.

REHABILITATION GUIDELINES

D. GUTTERS AND DOWNSPOUTS

Concealed or box gutters should be preserved and repaired whenever possible. If box gutters cannot be repaired, they should be sealed and covered to match the existing roof and replaced with hanging gutters as necessary.

Exposed gutters and downspouts, unless made of copper, should be painted the same color as the house or trim. To prevent the paint from flaking and peeling within a short period of time, new metal gutters or downspouts should be coated with a steel primer before applying the finish coats of paint.

Where hanging gutters are appropriate, they should be half round. New downspouts should be round.